

# Roof Inspection Report

Prepared for:

Mr. Greg Boettger  
Bellevue Schools  
&  
Mr. Ralph Gladbach  
GP Architecture, LLC.

Prepared by:

Roofing Solutions, Inc.  
6728 W. 153<sup>rd</sup> Street  
Overland Park, KS 66223



## Project Location

Central Elementary School  
510 W. 22<sup>nd</sup> Avenue  
Bellevue, NE 68005

**Facility:** Central Elementary  
510 W. 22nd Avenue  
Bellevue  
Nebraska  
68005  
U.S.A.



**Contact Name:** Greg Boettger

**Contact Telephone:** (402) 293-5066 Ext:

**Contact Fax:** ( ) -

**Date of Last Inspection:** Mar 22, 2017

**Type of building:** School

**Type of Neighborhood:** Residential

## Roof Section List

Photo	Section / Name / Year Installed	Size / Height	Roof Type	Condition Index / *RCI / ASLR(Yrs)	Estimated Replacement Value
	Roof A A 1992	19,435 sq. ft. 12 ft.	Built-Up Asphalt Roofing	Poor 33 0(Yrs)	\$165,197.50
	Roof B B 2012	465 sq. ft. 12 ft.	(EPDM) Ethylene-Propyl ene-Diene-Mon omer Roofing	Good 75 15(Yrs)	\$8,370.00
	Roof C C 1996	6,462 sq. ft. 20 ft.	(EPDM) Ethylene-Propyl ene-Diene-Mon omer Roofing	Poor 33 0(Yrs)	\$77,544.00
<b>26,362</b>					<b>\$251,111.50</b>
*RCI Rating 0 -100 where 100 is excellent					

### Recommendation Summary

Section ID	Budget Year	Activity Type	Action Item ?	Allocation	Urgency	Budget Amount
Roof A	2017	Retrofit	Yes	Capital	High	\$165,197
Roof A	2017	Infrared Scan	Yes	Expense	High	\$2,500
Roof B	2017	No Action	No	N/A	N/A	\$0
Roof C	2017	Replacement	Yes	Capital	High	\$77,544
						<b>\$245,241</b>

### Capital Budgets - 5 Years

Section ID	2017	2018	2019	2020	2021
Roof A	\$165,197	\$0	\$0	\$0	\$0
Roof C	\$77,544	\$0	\$0	\$0	\$0
	<b>\$242,741</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

### Expense Budgets - 5 Years

Section ID	2017	2018	2019	2020	2021
Roof A	\$2,500	\$0	\$0	\$0	\$0
	<b>\$2,500</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

### Total Budgets - 5 Years

Section ID	2017	2018	2019	2020	2021
Roof A	\$167,697	\$0	\$0	\$0	\$0
Roof B	\$0	\$0	\$0	\$0	\$0
Roof C	\$77,544	\$0	\$0	\$0	\$0
	<b>\$245,241</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>

**Roof Name:** A

**Roof Size:** 19,435 sq. ft.

**Est. replacement Cost:** \$ 165,197.50

**Existing System Type:** Built-Up Asphalt Roofing

**Year Installed:** 1992

**Assessed Service Life Remaining (Years) :** 0

**Height:** 12 Ft.

**Slope:** 1/4" per ft.

**Interior Sensitivity:** Normal

**Drainage:** Adequate

**Currently Leaking?** Yes

**History of Leaking?** Yes

**Drainage and Leak Details:** The A roof areas slope to the interior and drain to primary roof drains. The A-3 roof area has two (2) overflow drains and the A-1 roof area has five (5) scuppers that go through the raised roof edge detail.

Facility personnel reported an ongoing leak issue around a roof drain on the A-1 roof area.






## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Deck	Metal	Spot Attached
Insulation	Polyisocyanurate	Mechanically Fastened
Cover board	Fiberboard - .5" (1/2")	Hot Asphalt
Membrane	BUR - Multiply	Hot Asphalt
Surfacing	Gravel	Hot Asphalt

## Overall Core Condition

Core samples were taken on the A-1, A-2 & A-3 roof areas, all of which revealed the same roofing layers in place. The deck is a steel decking. The insulation is one (1) layer of polyisocyanurate board and one (1) layer of 1/2" wood fiber cover board. The membrane is a multiply BUR with a gravel surface. The polyisocyanurate board was 2.25" thick on the A-1 roof area, 1.75" thick on the A-2 roof area and 3" thick on the A-3 roof area.

**Core Photos**

Photos	Date	Description
	Mar 22, 2017	Core cut #1
	Mar 22, 2017	Core cut #2
	Mar 22, 2017	Core cut #3
	Mar 22, 2017	Deck Underside

## Overall Roof Inspection Assessments

Date	Inspection Type	Inspecting Company	Inspector
Mar 22, 2017	Phase 1 Roof Inspection	Roofing Solutions, Inc.	Garry Hendrickson

Roof Section A refers to the low slope roof system over the west wing and the roof areas which surround the raised Multi-Purpose Room at the Central Elementary School facility. The roof section includes the A-1 (west wing), A-2 (south side of Multi-Purpose Room) and A-3 roof area (north side of Multi-Purpose Room). The roof is an approximately twenty-five (25) year old BUR with a gravel surface. The perimeter sides of the roof area consist of a raised roof edge detail which is flashed with a BUR type of membrane flashing that terminates with a metal roof edging. The internal walls are flashed with a BUR type of membrane flashing which extends under a surface mounted counter flashing or a metal wall cap. There are portions on the internal wall where the counter flashing is set under an EIFS wall covering.

Defects and conditions found during the inspection include the following:

- Deteriorated or split caulking observed in the brick wall expansion joints above the roof system
- Accumulation of debris around the drain strainers and fallen tree limbs on the A-1 area
- Caulking repair attempts observed to the brick walls
- Roof mastic and cold process repair attempts observed to the BUR system
- One (1) reported leak issue at a roof drain on A-1; the plumbing should be investigated for leaks
- BUR flashings are weathered with deterioration and splitting
- Split BUR flashings observed at scupper, edge metal joints and corner flashings
- Open BUR plies observed around the lead drain flashings
- Areas where the metal counter flashing is incorrectly sealed to an EIFS wall covering
- One (1) rusted vent stack observed
- One (1) split in the EIFS wall covering

Overall, the roof system is in poor condition due to its age and the deteriorated nature of the roof system. Given the observed conditions, it is our opinion comprehensive repairs in an effort to extend the life of the system would be neither feasible nor cost effective. We recommend the roof be replaced. There was no warranty information available for this roof section at the time of inspection.

## Recommendations Details

Budget Year	Activity Type	Action Item ?	Allocation	Urgency	Quotation \$
2017	Infrared Scan	Yes	Expense	High	\$2,500
RSI recommends an infrared scan be performed to locate any wet insulation present in the current roof system.					
2017	Retrofit	Yes	Capital	High	\$165,197
RSI recommends the installation of a new twenty (20) year design life roof system. We further recommend installation of new perimeter metal and projection details per the SMACNA Architectural Sheet Metal Manual.					
					<b>\$167,697</b>



**Roof Name:** B**Roof Size:** 465 sq. ft.**Est. replacement Cost:** \$ 8,370.00**Existing System Type:** (EPDM) Ethylene-Propylene-Diene-Monomer Roofing**Year Installed:** 2012**Assessed Service Life Remaining (Years) :** 15**Height:** 12 Ft.**Slope:** 1/4" per ft.**Interior Sensitivity:** Normal**Drainage:** Adequate**Currently Leaking?** No**History of Leaking?** Yes

**Drainage and Leak Details:** The B roofs slope to the perimeters and drain to scuppers through the raised roof edge detail. The roof area at the north side of the Multi-Purpose Room drains to a single roof drain.

No recent leaks were reported on these roof areas at the time of inspection.



## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Deck	Wood plank	Nailed
Membrane	BUR - Coal Tar Pitch	Coal Tar Pitch
Surfacing	Gravel	Coal Tar Pitch
Insulation	Polyisocyanurate	Mechanically Fastened
Membrane	EPDM	Cold Adhesive

## Overall Core Condition

One (1) core sample was taken on the larger roof area at the east side of the A-1 roof area. The core sample revealed two (2) roof systems in place. The deck is wood plank. The original roof system is a coal tar pitch BUR system with a gravel surfacing. That roof system was later covered with one (1) layer of 2" polyisocyanurate board and a fully-adhered, Firestone EPDM membrane.

## Core Photos

Photos	Date	Description
	Mar 22, 2017	Membrane stamp
	Mar 22, 2017	Roof System Core

## Overall Roof Inspection Assessments

Date	Inspection Type	Inspecting Company	Inspector
Mar 22, 2017	Phase 1 Roof Inspection	Roofing Solutions, Inc.	Garry Hendrickson

Roof Section B refers to the low slope roof system over the small roof areas which adjoin the A-1 and C roof areas at the Central Elementary School facility. The roof section includes four (4) small roof areas. The roof system is an approximately five (5) year old, fully-adhered, Firestone EPDM. The perimeter sides of the roof area are a raised roof edge detail which is flashed with the same type of EPDM membrane flashing that terminates with a metal roof edging. The internal walls are flashed with same type of EPDM membrane flashing which terminates with a caulk strip detail.

Overall, the roof system is in good working condition, with no defects observed at the time of inspection. With routine maintenance and regular inspection, the roof system should remain effective for the duration of its assessed service life. There was no warranty information available for this roof section at the time of inspection.

## Recommendations Details

Budget Year	Activity Type	Action Item ?	Allocation	Urgency	Quotation \$
2017	No Action	No	N/A	N/A	\$0
No action is recommended at this time.					
					<b>\$0</b>

**Roof Name:** C**Roof Size:** 6,462 sq. ft.**Est. replacement Cost:** \$ 77,544.00**Existing System Type:** (EPDM) Ethylene-Propylene-Diene-Monomer Roofing**Year Installed:** 1996**Assessed Service Life Remaining (Years) :** 0**Height:** 20 Ft.**Slope:** 1/4" per ft.**Interior Sensitivity:** Normal**Drainage:** Adequate**Currently Leaking?** No**History of Leaking?** Yes**Drainage and Leak Details:** Roof Section C slopes from south to north and drains to an external gutter.

No recent leaks were reported on this roof section at the time of inspection.






## Existing Roof System Construction

Layer Type	Description	Method Of Attachment
Deck	Tectum	Laid - In -Place
Insulation	Expanded Polystyrene (EPS)	Laid - In -Place
Cover board	Fiberboard - 1"	Mechanically Fastened
Membrane	EPDM	Mechanically Fastened
Membrane	EPDM	Cold Adhesive

## Overall Core Condition

One (1) core cut revealed a tectum panel decking. The insulation is one (1) layer of 2.5" and one (1) layer of 1" air-expanded polystyrene insulation with a 1" layer wood fiber cover board. The original roof membrane is an EPDM which was mechanically attached with bars. It appears that EPDM roof membrane was later covered with an additional fully-adhered EPDM membrane. Note the insulation does not appear to be a tapered insulation system.

**Core Photos**

Photos	Date	Description
	Mar 22, 2017	Deck Underside
	Mar 22, 2017	Membrane stamp
	Mar 22, 2017	Roof System Core

## Overall Roof Inspection Assessments

Date	Inspection Type	Inspecting Company	Inspector
Mar 22, 2017	Phase 1 Roof Inspection	Roofing Solutions, Inc.	Garry Hendrickson

Roof Section C refers to the low slope roof system over the Multi-Purpose Room at the Central Elementary School facility. The roof is an approximately twenty-one (21) year old, fully-adhered EPDM. The south, east and west perimeter sides of the roof area are a wall detail. The walls are covered with the same type of EPDM membrane and topped with a metal cap. The north edge is an external gutter detail that terminates with a metal roof edging.

Defects and conditions found during the inspection include the following:

- EPDM stripping repairs observed to the field seams
- Random areas where the base flashing attachment has failed
- The EPDM flashings are bridged
- The wall cap cover plates are loose along the south wall detail
- The edge metal and guttering are rusted

Overall, the roof system is in poor condition due to its age and the deteriorated nature of the roof system. Given the observed conditions, it is our opinion comprehensive repairs in an effort to extend the life of the system would be neither feasible nor cost effective. We recommend the roof be replaced. There was no warranty information available for this roof section at the time of inspection.

## Recommendations Details

Budget Year	Activity Type	Action Item ?	Allocation	Urgency	Quotation \$
2017	Replacement	Yes	Capital	High	\$77,544

RSI recommends a complete tear-off of existing roof system and the installation of a new twenty (20) year design life roof system. We further recommend the replacement of all perimeter coping cap and projection details per SMACNA Architectural Sheet Metal Manual.

**\$77,544**

Photos and Deficiencies



<b>Defect Code:</b>	<b>1</b>	<b>Quantity:</b>	<b>Random</b>	<b>Priority:</b>	<b>First Year</b>
Description: Deteriorated or missing sealant at counterflashing, termination bar, sealant lip, metal flashing, expansion joint, etc.					
Repair: Clean loose sealant and dirt from all surfaces. Apply new polyurethane sealant and tool to shed water.					



<b>Defect Code:</b>	<b>22</b>	<b>Quantity:</b>	<b>Random</b>	<b>Priority:</b>	<b>First Year</b>
Description: Debris, trash, construction materials, HVAC equipment, filters, motors, etc. on roof surface.					
Repair: Remove all trash and debris from roof. Clean and inspect surfaces and repair any damages to the membrane or flashings.					



<b>Defect Code:</b>	<b>24</b>	<b>Quantity:</b>	<b>Numerous</b>	<b>Priority:</b>	<b>Monitor</b>
Description: Evidence of past problem and previous repair.					
Repair: Investigate for chronic leak problems and repair any areas that are suspect.					



<b>Defect Code:</b>	<b>28</b>	<b>Quantity:</b>	<b>1</b>	<b>Priority:</b>	<b>First Year</b>
Description: Reported leak location					
Repair: Investigate leak and determine source. Repair areas with like materials of appropriate gauge and plies.					

Photos and Deficiencies



<b>Defect Code:</b>	<b>43</b>	<b>Quantity:</b>	<b>Widespread</b>	<b>Priority:</b>	<b>First Year</b>
Description: Weathered and deteriorated flashing					
Repair: Clean and prepare surfaces by removing loose granules, dirt, and other debris. Apply two coats of elastomeric coating compatible with the flashing materials.					



<b>Defect Code:</b>	<b>46</b>	<b>Quantity:</b>	<b>Widespread</b>	<b>Priority:</b>	<b>First Year</b>
Description: Split in flashing					
Repair: Cut away loose flashing and clean and prime repair area. Apply strip in of like material centered over split extending a minimum of 4" in all directions past prepared area.					



<b>Defect Code:</b>	<b>53</b>	<b>Quantity:</b>	<b>Widespread</b>	<b>Priority:</b>	<b>First Year</b>
Description: Open lead flashing.					
Repair: Provide extension lead and turn into pipe. Counterflash top of short lead with extension a minimum of 3".					



<b>Defect Code:</b>	<b>58</b>	<b>Quantity:</b>	<b>Random</b>	<b>Priority:</b>	<b>Monitor</b>
Description: Inadequate, incomplete, nonconforming membrane flashings or flashing details.					
Repair: Complete membrane flashing repairs in accordance with NRCA recommendations and good roofing practices. Follow manufacturer requirements on warranted systems.					



Photos and Deficiencies



<b>Defect Code:</b>	<b>86</b>	<b>Quantity:</b>	<b>1</b>	<b>Priority:</b>	<b>Monitor</b>
Description: Corrosion or rust					
Repair: Remove rusted components and replace with similar metal fabricated and installed per SMACNA requirements.					



<b>Defect Code:</b>	<b>89</b>	<b>Quantity:</b>	<b>Under 10 LF</b>	<b>Priority:</b>	<b>First Year</b>
Description: Missing wall covering/cladding.					
Repair: Replace cladding/wall covering with matching materials and methods. Reattach and reseal all joints, seams, laps, etc.					

Photos and Deficiencies



Defect Code:	24	Quantity:	Widespread	Priority:	Monitor
Description: Evidence of past problem and previous repair.					
Repair: Investigate for chronic leak problems and repair any areas that are suspect.					



Defect Code:	41	Quantity:	Random	Priority:	Monitor
Description: Missing or inadequate flashing attachment.					
Repair: Mechanically attach flashings a maximum of 6" O.C using screws and plates or 1" cap nails. Terminate with metal flashings or compression bar.					



Defect Code:	44	Quantity:	Widespread	Priority:	Monitor
Description: Bridged flashing					
Repair: Cut out all bridged flashings. Clean area thoroughly and apply new flashings. Apply corner flashings and overlay all T-laps, flashings laps, and splice intersections.					

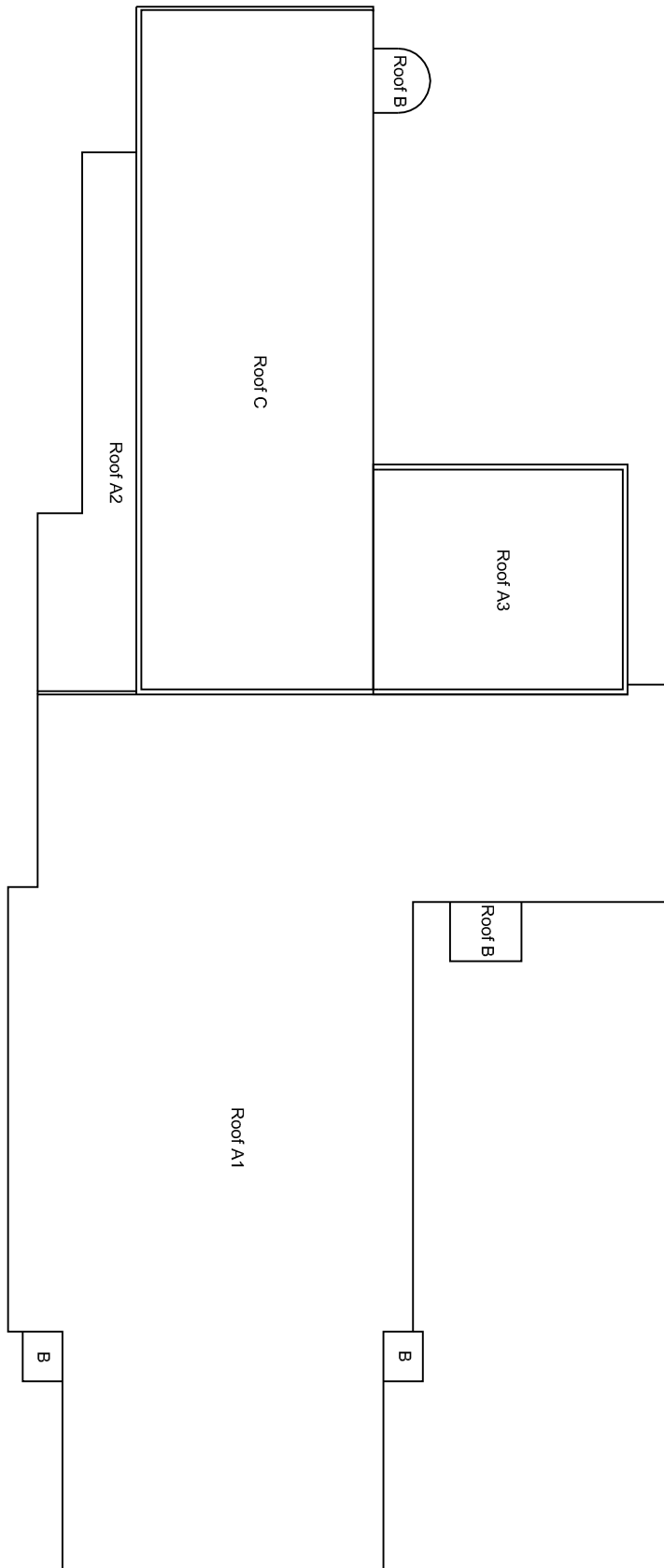


Defect Code:	71	Quantity:	Widespread	Priority:	Monitor
Description: Open or missing joint cover.					
Repair: Replace joint covers that are open or missing with matching joint covers and sealant.					

Photos and Deficiencies



Defect Code:	86	Quantity:	Widespread	Priority:	Monitor
Description: Corrosion or rust					
Repair: Remove rusted components and replace with similar metal fabricated and installed per SMACNA requirements.					



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Project Name:

**Central Elementary School**

Project Address:

**510 W. 22nd. Avenue  
 Bellevue, NE 68005**

Sheet Number:  
**01 of 01**

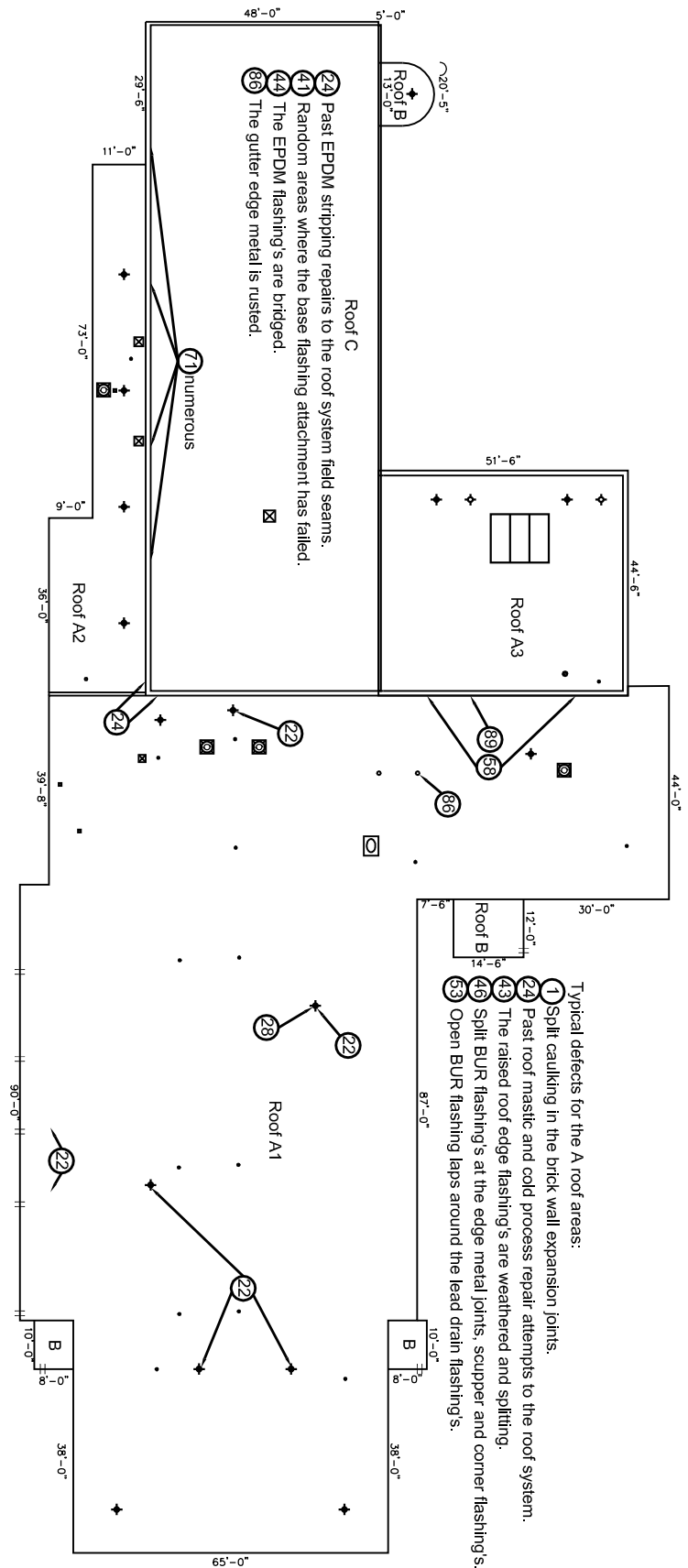
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**03/22/2017**

Drawn By:  
 GH

Project Number:  
**00-000000**

Sheet Title:  
**Site Plan**

- DRAWING LEGEND**
- ⊕ DRAIN
  - ⊖ OVERFLOW
  - ⊗ SCUPPER
  - ⊞ HVAC UNIT
  - ⊠ CURB
  - ⊡ SATELLITE
  - ⊟ PITCH PAN
  - FLUE
  - PIPE
  - SLEEPER
  - SKYLIGHT
  - ⊞ EXHAUST FAN
  - ⊞ CONDENSER ON SLEEPERS
  - ⊞ DEFECT NOTE
  - Ⓣ CONSTRUCTION NOTE
  - M.I.C. NOT IN CONTRACT
  - UNL. UNLESS NOTED OTHERWISE



Typical defects for the A roof areas:

- (1) Split caulking in the brick wall expansion joints.
- (24) Past roof mastic and cold process repair attempts to the roof system.
- (43) The raised roof edge flashings are weathered and splitting.
- (49) Split BUR flashings at the edge metal joints, scupper and corner flashings.
- (53) Open BUR flashing laps around the lead drain flashings.

Roof C

- (24) Past EPDM stripping repairs to the roof system field seams.
- (41) Random areas where the base flashing attachment has failed.
- (44) The EPDM flashings are bridged.
- (86) The gutter edge metal is rusted.

(71) numerous



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**01 of 01**

**Date:**  
**03/22/2017**

**Drawn By:**  
 GH

**Project Number:**  
 00-000000

**Sheet Title:**  
**A,B&C-Roof Plan**

- DRAWING LEGEND**
- ⊕ DRAIN
  - ⊖ OVERFLOW
  - ⊙ SCUPPER
  - ⊞ HVAC UNIT
  - ⊞ CURB
  - ⊞ SATELLITE
  - ⊞ PITCH PAN
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  - SLEEPER
  - SKYLIGHT
  - ⊞ EXHAUST FAN
  - ⊞ CONDENSER ON SLEEPERS
  - ⊞ DEFECT NOTE
  - ⊞ CONSTRUCTION NOTE
- N.I.C. NOT IN CONTRACT  
 UNL. UNLESS NOTED OTHERWISE

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 Deficiency Legend
 

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Defect #	<b>FIELD MEMBRANE AND ROOF SURFACE</b>
1	Description: Deteriorated or missing sealant at counterflashing, termination bar, sealant lip, metal flashing, expansion joint, etc.
2	Description: Fishmouth in field or flashing seam.
3	Description: Open lap in field membrane.
4	Description: Dry lap edge.
5	Description: Buckling or ridging of membrane.
6	Description: Split in membrane.
7	Description: Wrinkle in membrane.
8	Description: Surface erosion.
9	Description: Membrane deterioration.
10	Description: Tented membrane at fastener.
11	Description: Blister in field membrane or flashing.
12	Description: Alligatoring of asphalt surfacing.
13	Description: Tar boils/blueberries.
14	Description: Displaced ballast.
15	Description: Ponding of water.
16	Description: Blocked drain, scupper, or downspout.
17	Description: Missing or damaged drain/scupper strainer
18	Description: Unadhered membrane or inadequate membrane attachment.
19	Description: Unadhered insulation or inadequate insulation attachment.
20	Description: Displaced insulation
21	Description: Loose walkway pad or deteriorated paver.
22	Description: Debris, trash, construction materials, HVAC equipment, filters, motors, etc. on roof surface.
23	Description: Physical damage to membrane including cuts, holes, tears, scrapes, scuffs, or abrasions.
24	Description: Evidence of past problem and previous repair.
25	Description: Membrane slippage
26	Description: Membrane shrinkage
27	Description: Missing or damaged membrane protection layer at sleeper, antenna, satellite sled, blocking, pipe stand, paver, etc.
28	Description: Reported leak location
29	Description: Missing, loose, or broken shingles
30	Description: Open or missing tile eave stop.
31	Description: Missing or open mortar joints at the ridge or hip.
32	Description: Broken or missing tile.
33	Description: Loose, displace, or unsecured tiles.

## Deficiency Legend

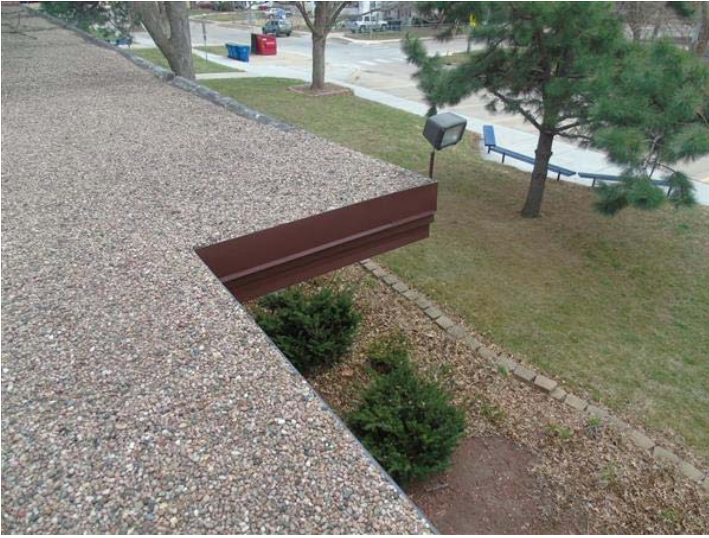
Defect #	FLASHINGS AND PENETRATIONS
40	Description: Low flashing height.
41	Description: Missing or inadequate flashing attachment.
42	Description: Loose or unadhered flashings.
43	Description: Weathered and deteriorated flashing
44	Description: Bridged flashing
45	Description: Open flashing lap
46	Description: Split in flashing
47	Description: Racked flashings
48	Description: Missing termination
49	Description: Missing counterflashing
50	Description: Missing pipe flashing.
51	Description: Leaking or damaged gutters/downspouts.
52	Description: Missing rain cap, rain collar, or hood.
53	Description: Open lead flashing.
54	Description: Fallen or loose backer rod.
55	Description: Deteriorated or shrunken pitch pan filler.
56	Description: Abandoned and obsolete equipment.
57	Description: Expansion joint deficiencies.
58	Description: Inadequate or nonconforming membrane flashing detail.
	<b>METALWORK AND MISCELLANEOUS</b>
70	Description: Open joint in metal flashing.
71	Description: Open or missing joint cover.
72	Description: Signage penetration not sealed properly.
73	Description: Improper sheet metal detail.
74	Description: Inadequate coverage of metal flange.
75	Description: Inadequate attachment of metal flashings.
76	Description: Inadequate transition flashings.
77	Description: Grease or other contaminants exhausted or vented onto roof surface.
78	Description: Leaking or damaged gutters/downspouts.
79	Description: Cracks in walls.
80	Description: Broken, plugged, or disconnected condensate line.
81	Description: Displaced antenna, sign, bracing, support, strap, etc.
82	Description: Open or deteriorated wall joint.
83	Description: Efflorescence.
84	Description: Deck deflection
85	Description: Vegetation growth.
86	Description: Corrosion or rust
87	Description: Mechanical defect
88	Description: Skylight defect/cracked/deteriorated
89	Description: Missing wall covering or cladding materials.

Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof A-1\_2017-03-22





Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof A-1\_2017-03-22



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Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof A-3\_2017-03-22



Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof A-3\_2017-03-22



Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof B\_2017-03-22





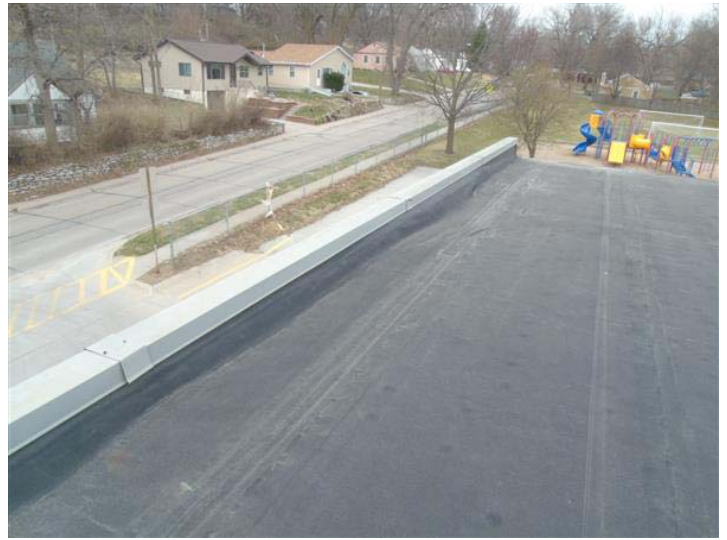
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Central Elementary\_Bellevue, NE  
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Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof C\_2017-03-22



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Central Elementary\_Bellevue, NE  
Ph 1 Roof Inspection\_Roof C\_2017-03-22

